



COMUNE DI GENOVA

CASERMA S. TER. G. GAVOGLIO MEDAGLIA D'ORO AL V.M.

ENHANCEMENT PROGRAM FOR THE COMPLEX “EX CASERMA GAVOGLIO”

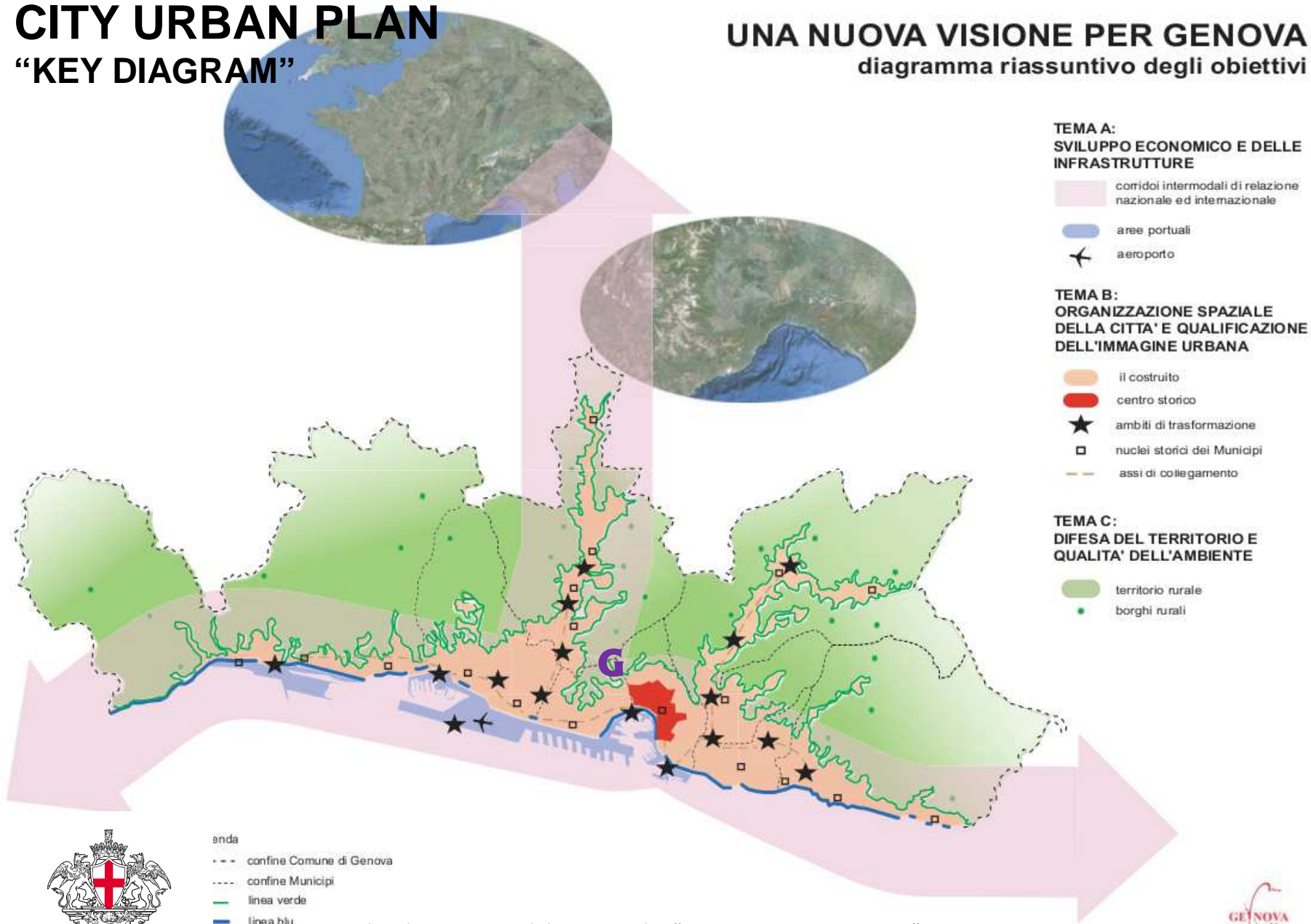
26th January 2017

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Direzione Patrimonio, Demanio e Impiantistica Sportiva - Settore Progetti Speciali

CITY URBAN PLAN "KEY DIAGRAM"

UNA NUOVA VISIONE PER GENOVA diagramma riassuntivo degli obiettivi



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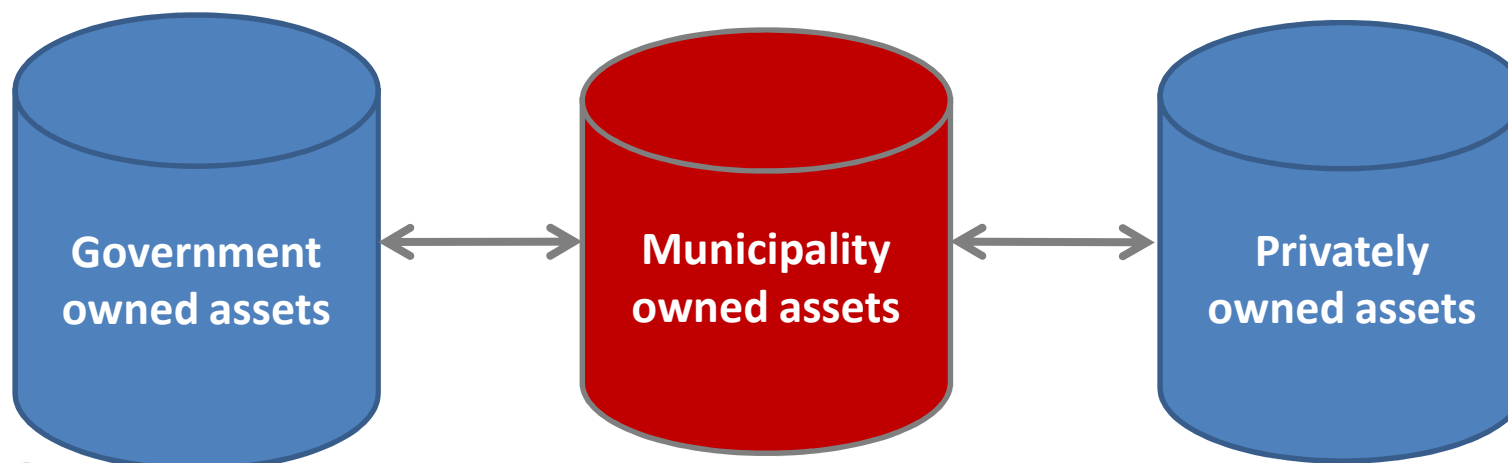
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The valorisation strategy

To develop the city's economy
To foster cultural growth
To improve the quality of life

The involved resources:



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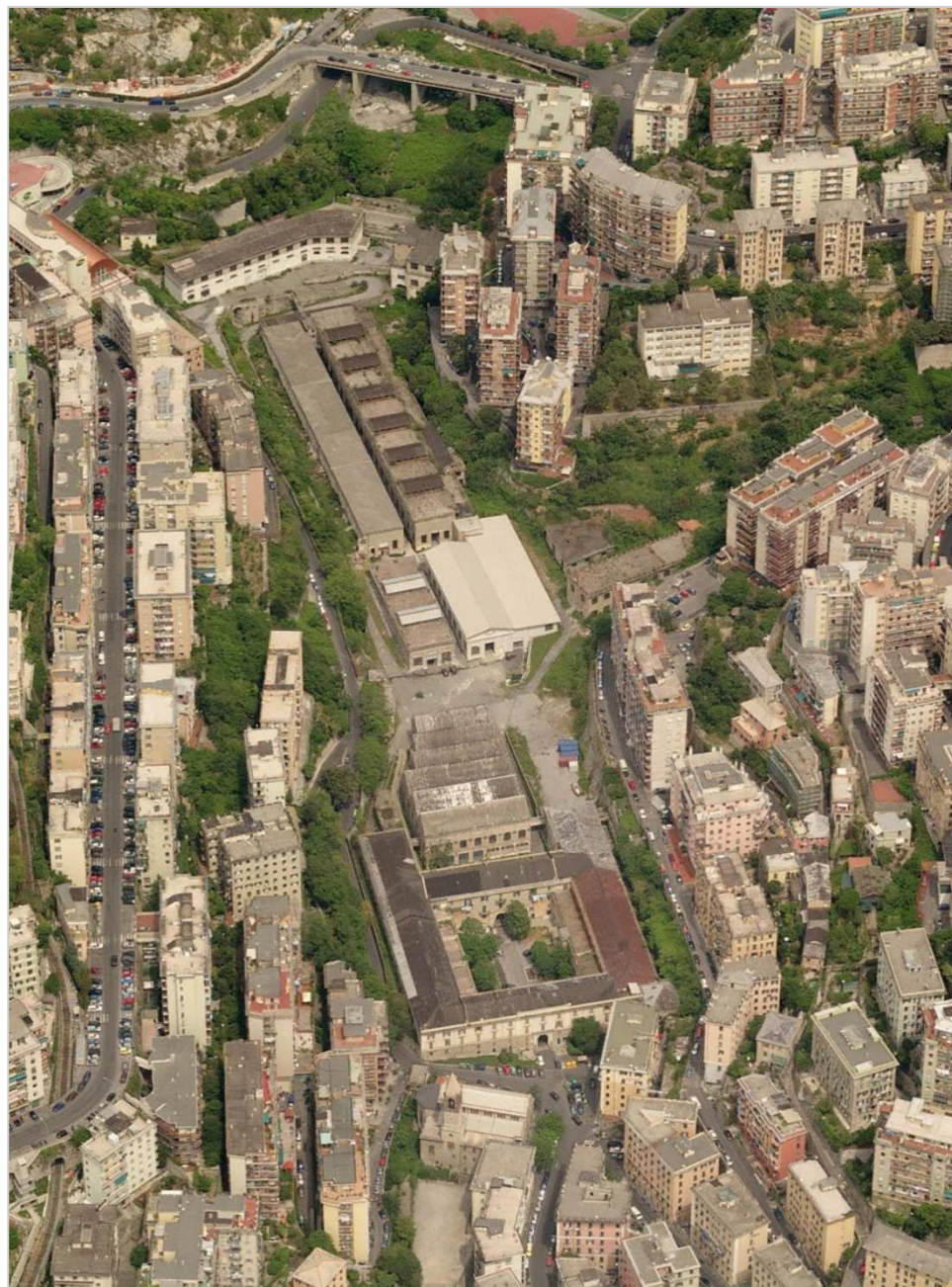
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EX CASERMA GAVOGLIO



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Fonte fotografica: Bing Maps

**Former military
complex**

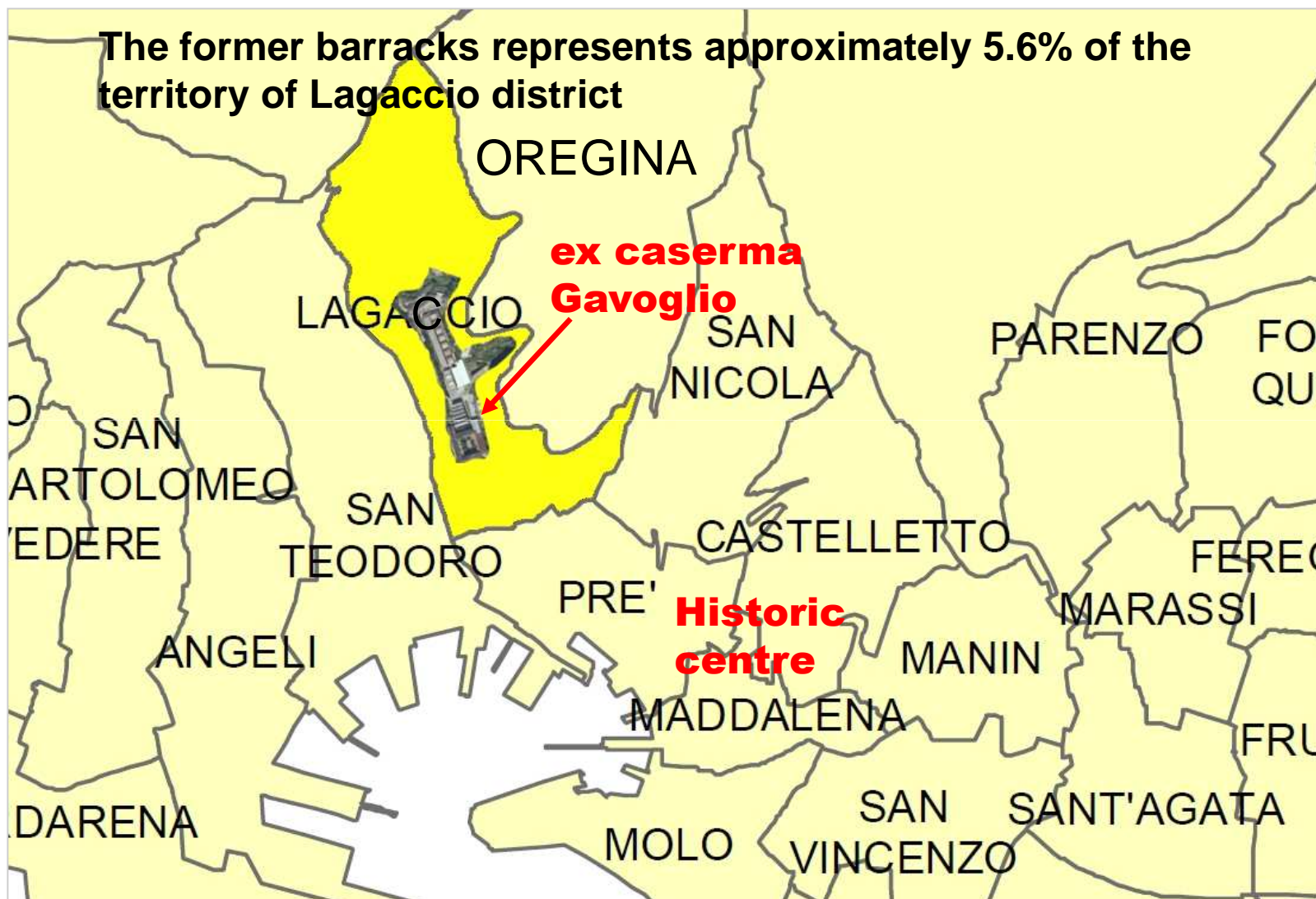
About 50.000 sm

**Useful floor area:
33.200 sm**

**Volumes: 223.400
cm**

**Covered area:
19.100 sm**

Territorial overview of the complex



Territorial overview of the complex

The former barracks is less than 1 km away from the area of the maritime station and Genova Principe railway station



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Federalism and cultural assets

D. Lgs. 85/2010, art. 5 comma 5: transfer to the municipalities, free of charge, of State-owned assets having an historical value through an enhancement program

Starting the enhancement program for the acquisition of the asset

Activating the Executive Technical Board (Ministry of culture and State Property)

Analysis of good and context

Elaboration of the enhancement program: implementation specifics, economic and financial sustainability and timeline of the program

ETB approves the enhancement program

Municipality, MIBACT and State subscribe the enhancement program

Transfer of the property to the municipality

Federalism in cultural assets

The timing of the acquisition

- **2013** Request to the Agenzia del Demanio (State Assets)
- **2014** The City Council starts the development of enhancement program and guidelines
Start of activities to develop the enhancement program
- **2015** Communication, dialogue and discussion path
- **2016** Development of enhancement program
Approval for the enhancement program and enhancement agreement draft

19th December 2016: Subscription of Agreement for the use and transfer of the former barracks Gavoglio to City of Genova

Federalism and cultural assets

**19th December 2016:
Subscription of Enhancement Agreement**

**The complex of the former barracks Gavoglio is transferred
from the State to the city of Genoa**

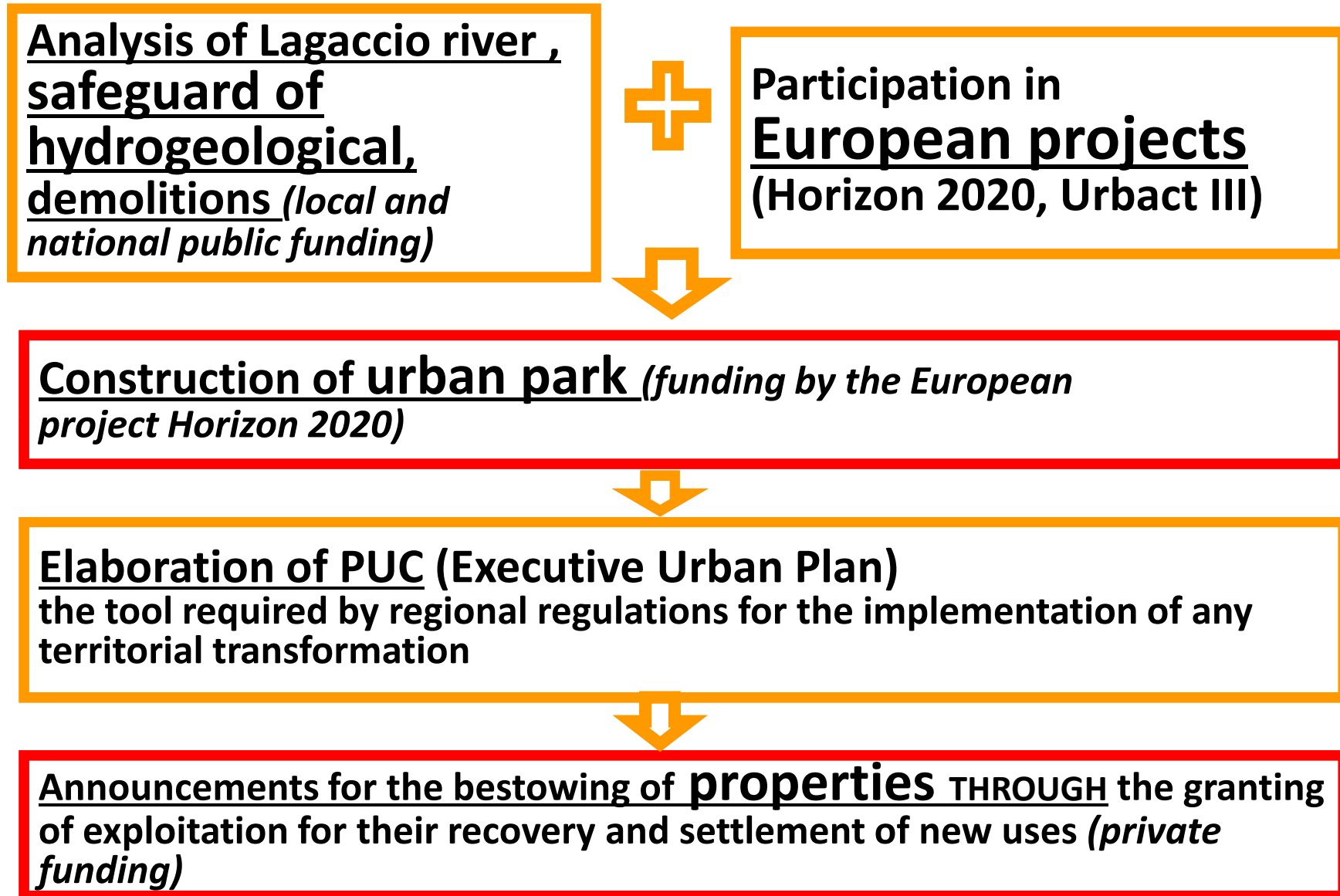


The road map for re-appropriation : temporary space use

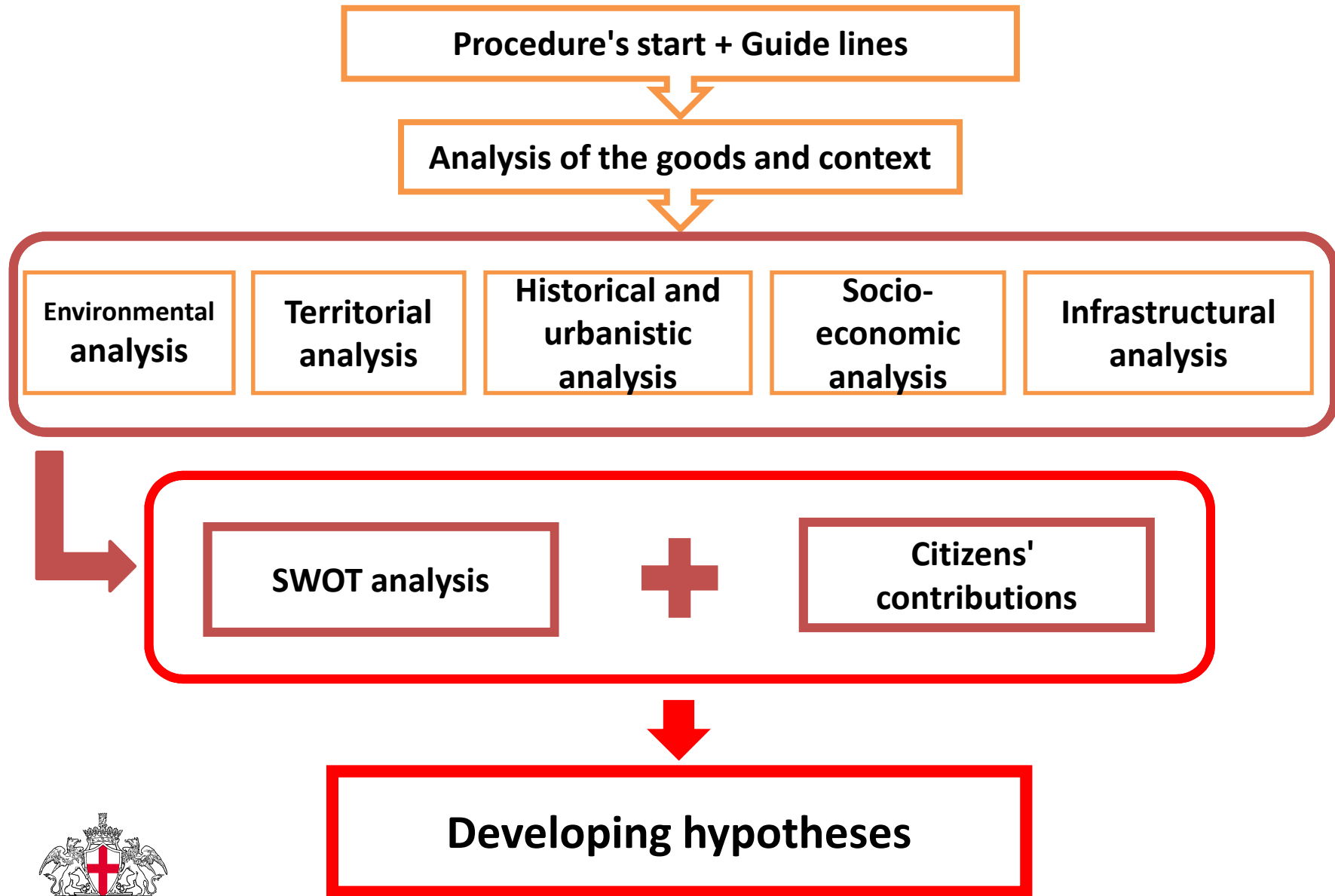
- 2014 Frontloading the main building
- 2015 Inauguration of the "Lagaccio district's House"
- 2016 Approval of measures for increasing temporary uses space



The implementation of the programme



The Work Plan



The Work Plan

Listening to citizens needs

Drafting of **guidelines**

Realization of **territorial** analysis

Study on the **reusability** of the complex

Debate with population and associations

Redefinition of the guidelines

Elaboration of possible **scenarios**

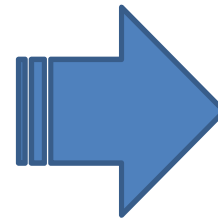
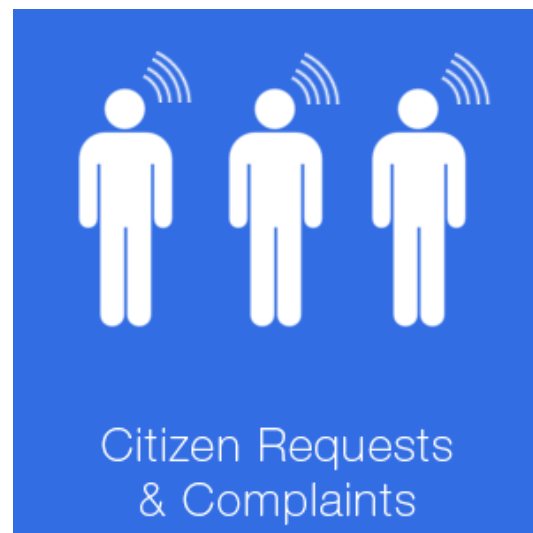
Definition of the enhancement **program**



Listening to the citizens' needs

Remarks to the PUC in training:

- Demolition of industrial building to create **public spaces**
- Request of **green spaces** for sports and leisure
- **Better connection** with the city and with the neighbouring districts
- Inclusion of support **activities** for the economy and the environment
- Inclusion of district **services**



Drafting of guidelines

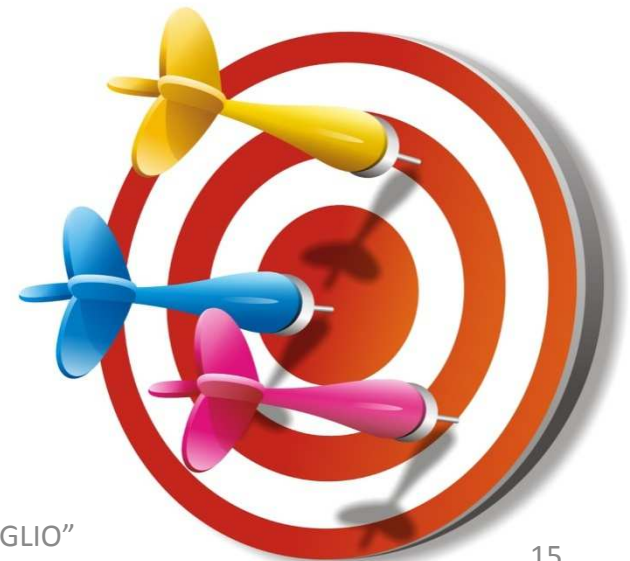
The Special Projects Sector was put in charge for drawing up the enhancement programme on the basis of the guidelines



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Realization of territorial analysis

•Urban analysis of district :

- History
- Physical conformation
- Socio-economic data
- Demographic trends
- Urbanistic planning tools

•Hydraulic and hydro-geological analysis

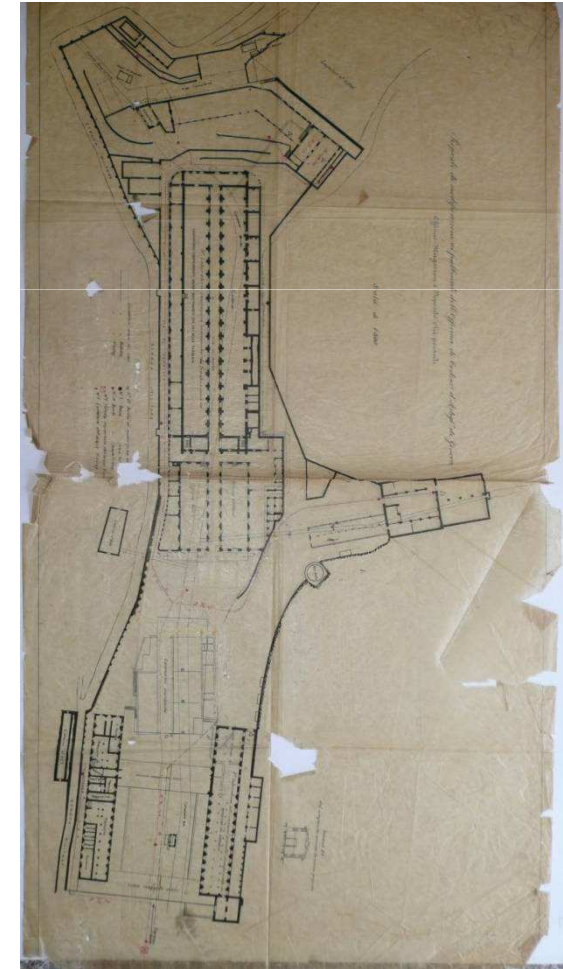


History of the district and compendium

- Study of the documents in archives and libraries
- Study of iconographical sources



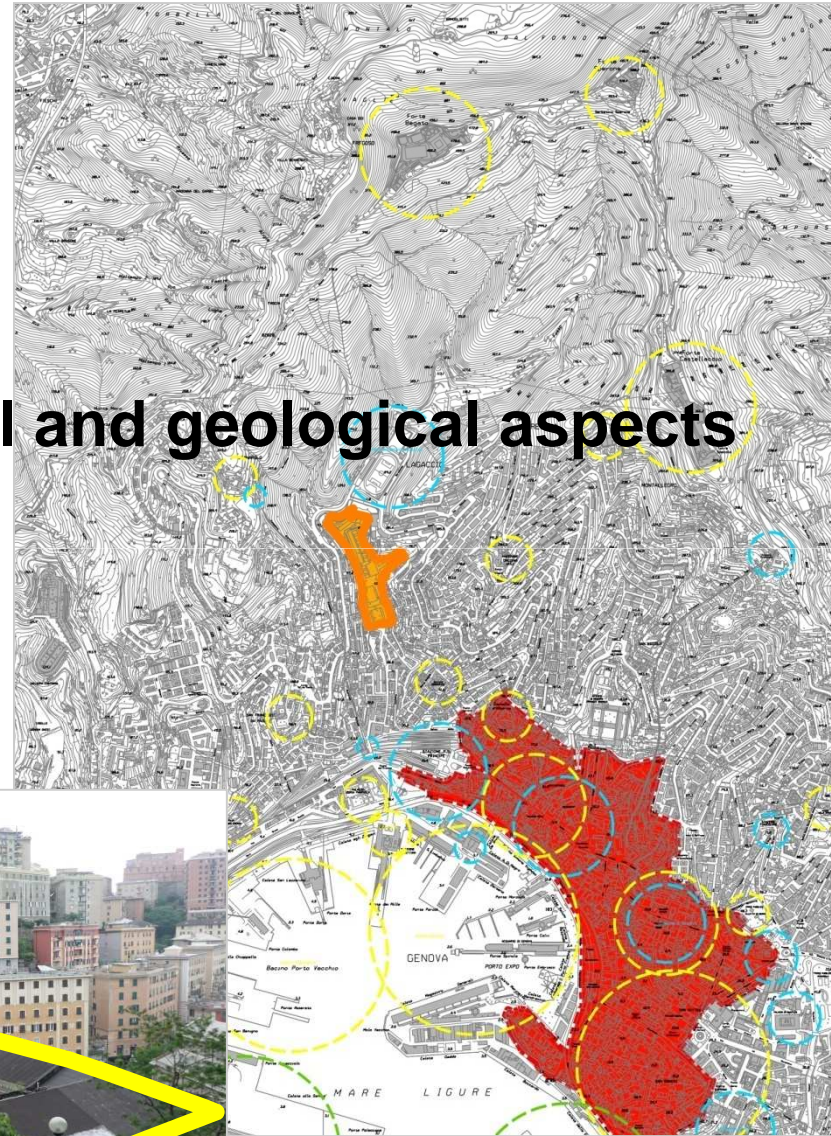
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Physical conformation

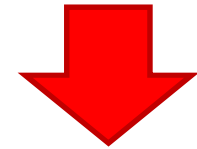
- Surveys on the site
- Connection with the city
- Mobility Analysis
- Landscape, environmental and geological aspects



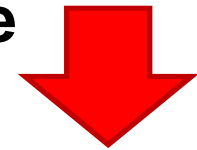
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Socio-economic data

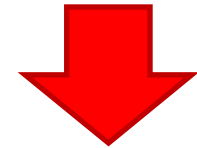
- **Lowest average income among urban units of Municipality**



- **Lower real estate values than the town average**



- **Public services are below town average**



Population*

- More than 12,000 people (slightly decreasing) ↓
- Mix of ages (index-ageing lower than the town average)
- 44% of inhabitants are single
- 54,7% are natives of the district



*Data on 2013



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SWOT analysis

Strengths

- Central location (district, city)
- Possible relationships with local polarity
- Proximity to transport infrastructure and cultural venues
- Availability of free areas of former compendium
- Landscape of the neighborhood to be revalued
- Relatively rich social fabric and with a good mix of ages



SWOT analysis

Weakness



- **Spatial separations in the neighborhood and the city**
- **Natural water network compromised, largely underground**
- **Relevant costs for redevelopment and land reclamation**
- **Lack of green and public spaces in the district**
- **Mobility difficulty (orographic conditions and road congestion)**
- **Prevalence of residential function and lack of services**



SWOT analysis

Opportunities



- Acquisition of the compendium without any charges for the city
- Lagaccio is a strategic District of urban plan
- Access to funding and/or incentives from the EU
- Incorporation of new and innovative functions
- Possible recovery and transfer of U.F. area from demolition
- Strong commitment of the inhabitants to improve the quality of life



SWOT analysis

Threats

- Ongoing economic crisis
- Stagnation in the housing market
- Difficulties in finding the resources to implement interventions
- Need for substantial resources to complete the reclamation and hydro-geological safety works
- Excessive extension of implementation times



Study of reusability of the compendium

- **Morphological analysis of buildings**

- Dimensions
- Building types
- State of conservation
- Historical value

- **Hypotesis of new compatible uses**



Debate with population and associations and testing of hypothesis for reuse

- Meetings with the associations of citizens
- Public meetings at the district
- Public workshops
- Publication of materials on the website



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Citizens involvement



Meetings on issues of urban regeneration for the complex



Workshops organized by the City of Genoa

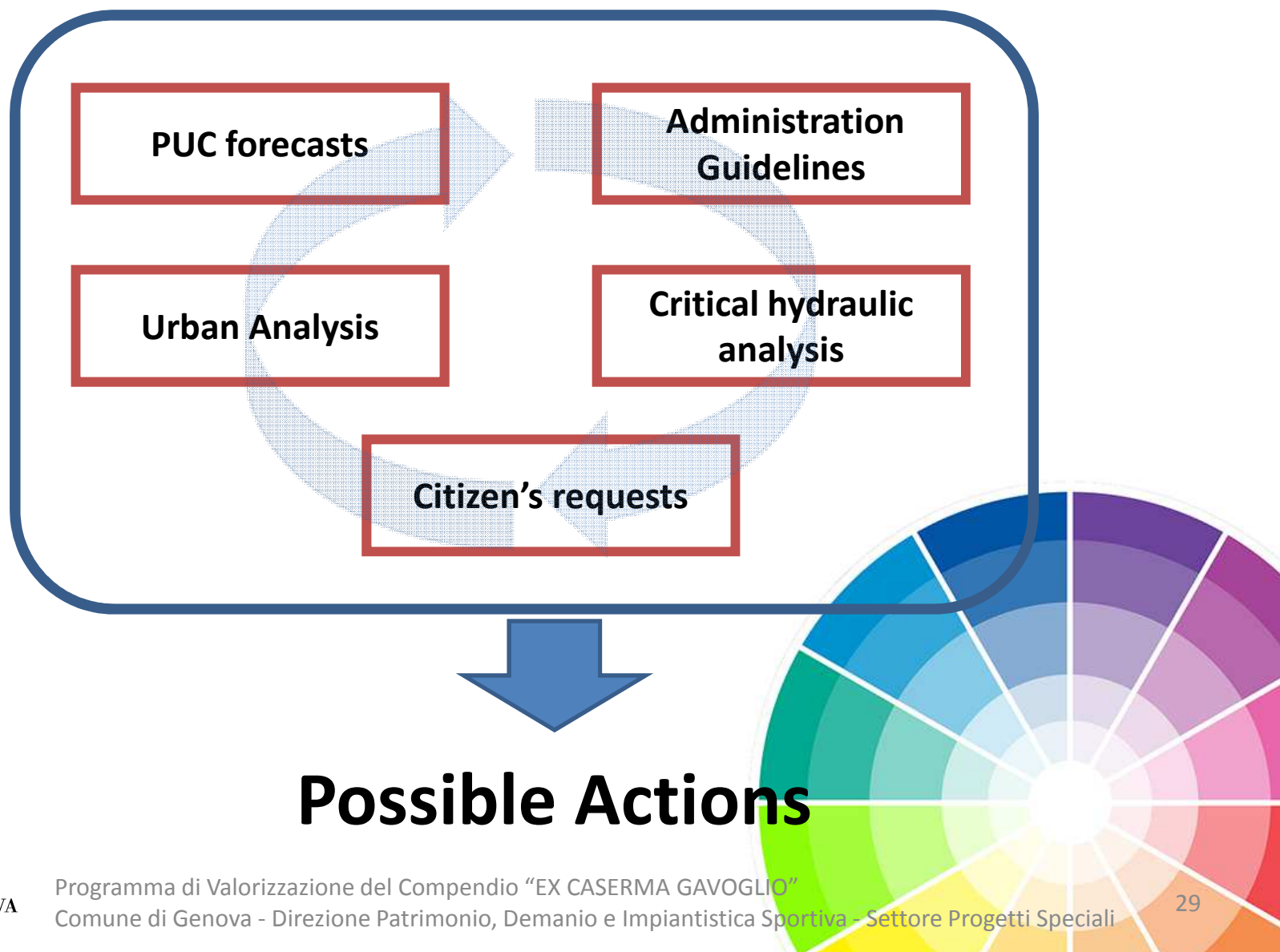


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Redefinition of the guidelines



Elaboration of possible scenarios

- **Combination of possible actions**
- **Complementary, not alternative, scenarios**
- **Flexibility within the range of possible actions**
- **Possibility of evolution over time**



Enhancement Programme

Hypothesis 1

Demolition of the buildings B, D, E, F, H, I, L (not bound by MiBACT)

Buildings occupied by CRI confirmed

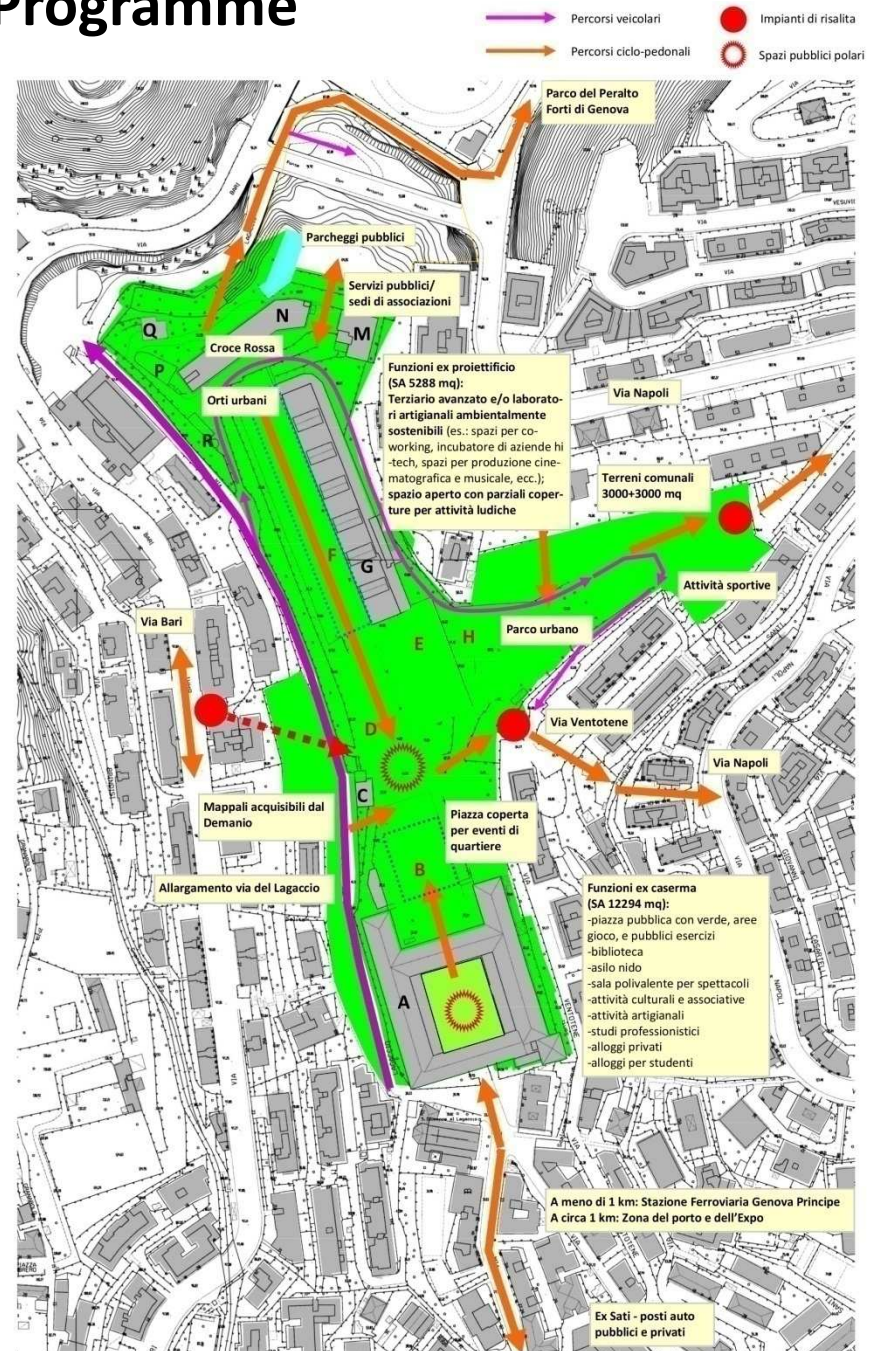
Building G: spaces for startups, innovative activities (smart economy); research laboratories; "clean" workshops; coworking;

Building A: mix of urban functions (public square with green, play areas, public services, receptivity (Hostel), residence, accommodation for students and researchers, multifunctional rooms, spaces for shows

Public squares, urban park, outdoor sports, urban gardens



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Hypothesis 2 Enhancement Programme

Demolition of the buildings B, I, L and partially of the D and E

Buildings occupied by CRI confirmed

Building G: spaces for startups, innovative activities (smart economy); research laboratories; "clean" workshops; coworking;

Building F: functions complementary to those housed in the building G

Building H: "clean" workshops

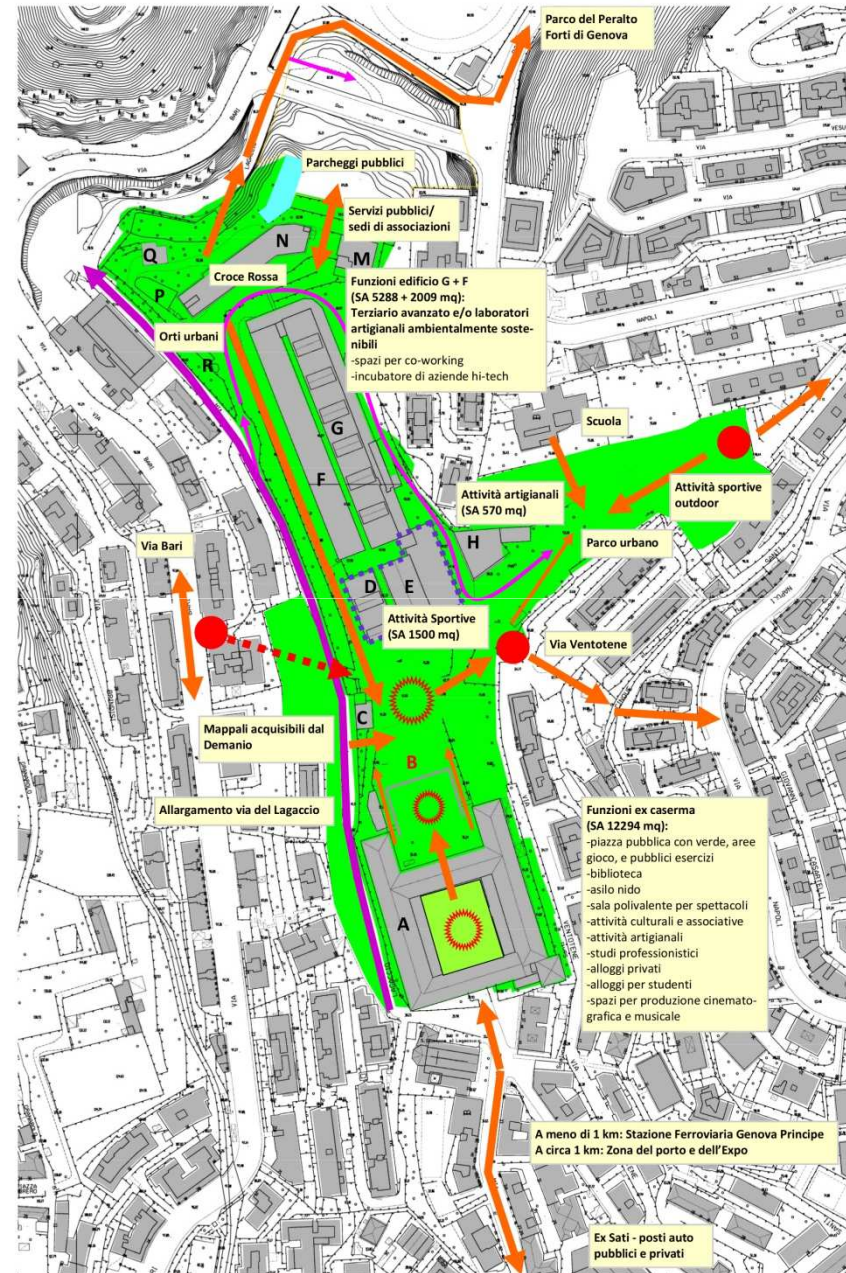
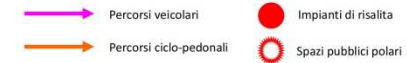
Buildings D ed E: sports indoor

Building A: mix of urban functions (public square with green, play areas, public services, receptivity (Hostel), residence, accommodation for students and researchers, multifunctional rooms, spaces for shows

Public squares, urban park, ou sports, urban gardens



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Enhancement Programme



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Caserma Gavoglio

Comune di Genova / Archivio documenti



Archivio documenti

Documenti istituzionali

- [Riqualificazione e uso: ipotesi progettuali](#)
- [Protocollo d'intesa tra il Ministero per i beni e attività culturali, Segretariato generale e Agenzia del demanio](#)
- [Circolare 18/2011 del Ministero per i beni e le attività culturali](#)
- [Delibera Consiglio Comunale di indirizzi in merito all'acquisizione di beni del Demanio Statale](#)
- [Delibera Giunta Comunale di attivazione procedura per il trasferimento al patrimonio comunale della Caserma Gavoglio](#)
- [Delibera Giunta Comunale - Sviluppo e aggiornamento Linee Guida per la redazione del Programma di Valorizzazione dell'ex caserma Gavoglio. Avvio verifiche idrogeologiche](#)
- [Delibera Giunta Comunale - approvazione del Programma di Valorizzazione per il trasferimento al patrimonio comunale del compendio dell'ex caserma Gavoglio sito nell'unità urbanistica Lagaccio nell'ambito del Municipio Centro Est. Procedura ai sensi dell'art. 5, comma 5, d. lgs n. 85/2010](#)
- [Delibera di Giunta per l'impulso della Casa di Quartiere](#)

Articoli correlati

- Al Comune l'ex caserma Gavoglio. Al suo posto nuovi spazi verdi per tempo libero e sport
- Fondi europei: tre milioni di euro alla Gavoglio
- Si amplia la superficie a disposizione della "Casa di Quartiere" alla ex caserma



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<http://www.comune.genova.it/content/archivio-documenti>

Elaboration of the Executive Master Plan (PUO)

- Urban operative tool
- The enhancement program is the frame of reference



European Projects

- **Urbact III – 2nd Chance**

Waking up the “sleeping giants”



- **Horizon 2020 – SCC 2 – 2016**

Demonstrating innovative
nature based solutions
in cities





**THANK YOU
FOR
YOUR
ATTENTION!
ANY QUESTIONS?**



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